

CITY OF WARWICK



WARWICK CITY HALL “Save America’s Treasures” 2013 RESTORATION PROJECT

Warwick Planning Department
3275 Post Road, Warwick, RI 02886

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“Save America’s Treasures”
2013 Restoration Project

REQUEST FOR PROPOSALS

The City of Warwick is seeking qualified firms for preservation and restoration of the Warwick City Hall tower and portico, located at 3275 Post Road, Assessor’s Plat 245, Assessor’s Lot 0061. The building’s bell and clock tower is in critical need of complete restoration. Having fallen into disrepair due to the deteriorating effects of time and weather, specific repairs and restoration efforts are now essential. These preservation efforts include dome recladding and repair, bell area recladding and repair, balustrade and gutter restoration, clock level masonry restoration, clock face restoration, weathervane repair and preparation and painting of the dome, tower, and portico.

Restoration of the City Hall tower is being supported in part by a Save America’s Treasures Grant, administered by the National Park Service, Department of the Interior, and preservation grant from Rhode Island Historic Preservation and Heritage Commission. As such, any contractor selected for grant-assisted work, must have the requisite experience and training in historic preservation to oversee the construction work to be performed and to manage this complex project. The Proposal will include the submission of a STATEMENT OF QUALIFICATION (SOQ) from all bidders. The Statement of Qualifications will be evaluated as delineated here-in and those firms that have met the criteria as established by the prescribed process shall then be considered.

It is important to note that this Project will include a **mandatory** Pre-bid Conference, to be held on Monday, May 13, 2013 at 2 PM in the City Council Chambers, 2nd Floor at Warwick City Hall. At that time the Owner will review the site with proposers and accept written questions regarding the project. These questions will be answered in written format as an addendum to this solicitation and will be sent by email to all parties.

ADDITIONAL BID INFORMATION AND SOQ REQUIREMENTS

Warwick City Hall is an important historical building, constructed in 1892, by William R Walker and Sons. It is the centerpiece of the Warwick Civic Center Historic District, the seat of local government and an excellent example of Colonial Revival architecture. Both the building and the district are listed on the National Register of Historic Places.

Due to the extremely sensitive nature of the work of this project, and the specialized skills required for same, the following information should be carefully noted. Also, where documents are indicated as “MUST BE SUBMITTED,” this indicates that failure to include this information with the bid will result in DISQUALIFICATION of the bid.

It is important that the successful bidder be familiar with the preservation, rehabilitation, restoration and reconstruction of historic buildings. **THE BIDDING CONTRACTOR MUST DEMONSTRATE VERIFIABLE EVIDENCE OF PREVIOUS EXPERIENCE WORKING ON BUILDINGS 100 YEARS OLD OR OLDER.** It is important that the successful bidder demonstrate an ability to complete this complex project on time and within budget. This project must be completed within 120 days, with an expected completion date no later than October 31, 2013.

The Proposer shall submit a complete Statement of Qualifications (SOQ) as part of the bid package, to the Purchasing Division by the specified deadline as listed in this solicitation. Please submit the SOQ documents in a separate envelope with the company name and marked “CONFIDENTIAL”. All SOQ documents will be treated with extreme confidentiality. Documents will not be accessible to the general public, to Proposers or any others not involved in the selection process.

An Evaluation Committee shall be appointed by the Owner to evaluate and score each proposal and make a final recommendation.

General Contractor Qualifications
Contents of Statement of Qualifications (SOQ)

The following items MUST BE SUBMITTED as attachments to the Bid.

- Firm history, indicating number of years as a General contractor.
- Resumes of principal(s) of the firm who will be responsible for this project.
- Proposed list of major subcontractors to be used on this project and their scope area.
- A list of projects successfully completed by the General Contractor’s company MUST BE SUBMITTED with the Bid as stipulated below:
- List a minimum of three (3) projects completed within the previous five (5) years that demonstrate the Bidder’s experience with significant historic preservation projects, specifically pertaining to restoration and repairs on a historic building dating 100 years or older.

The following information is required for each project listed:

- Name and address of building.
- Age of building (approximate year of original construction).
- Indicate if the building is listed on the National Register of Historic Places or located in a locally zoned historic district.
- Contract price.
- Detailed description of scope of work.
- Date of completion.
- Name and phone number of architect or design professional associated with the project.
- Name and phone number of the owner or owner’s representative.

The City reserves the right and sole discretion to determine equivalent or prior experience and the right to reject any and all bids which fail to demonstrate equivalent prior experience. The City owner will contact project references, and reserves the right to reject bids based on poor performance with similar projects.

Subcontractor Qualifications

Due to the importance of the expertise of the subcontractors that will be required to work on this project, the following information MUST BE SUBMITTED with the Bid:

- Submit firm’s name, contact and history, indicating number of years in business.
- List a minimum of three (3) projects completed within the previous five (5) years that demonstrate the company’s experience with significant historic preservation projects, specifically pertaining to the subcontractors area of expertise, on a historic building dated 100 years and older.

- The following information is required for each project listed:
 - Name and address of building.
 - Age of building (approximate year of original construction).
 - Indicate if the building is listed on the National Register of Historic Places or located in a locally zoned historic district.
 - Contract price.
 - Detailed description of scope of work.
 - Date of completion.
 - Name and phone number of architect or design professional associated with the project.
 - Name and phone number of the owner or owner's representative.

ADDITIONAL BID INFORMATION

The bidding Contractor is required to be familiar with and demonstrate experience working on projects in keeping with the *Secretary of the Interior's Standards for the Treatment of Historic Properties*, listed as follows:

PRESERVATION is defined as the act or process of applying measures necessary to sustain the existing form, integrity, and materials of an historic property. Work, including preliminary measures to protect and stabilize the property, generally focuses upon the ongoing maintenance and repair of historic materials and features rather than extensive replacement and new construction.

REHABILITATION is defined as the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features which convey its historical, cultural, or architectural values.

RESTORATION is defined as the act or process of accurately depicting the form, features, and character of a property as it appeared at a particular period of time by means of the removal of features from other periods in its history and reconstruction of missing features from the restoration period. The limited and sensitive upgrading of mechanical, electrical, and plumbing systems and other code required work to make properties function is appropriate within a restoration project.

The awarded Contractor will also be required to be familiar with and demonstrate experience working on projects in keeping with the *Secretary of the Interior's Standards for Rehabilitation* listed below:

1. A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.
2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.
3. Each property will be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.
4. Changes to a property that have acquired historic significance in their own right will be retained and preserved.
5. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.
6. Deteriorated historic features will be repaired rather than replaced. When the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.

7. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.
8. Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.
9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.
10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

EVALUATION CRITERIA

All submissions will be evaluated by a Review Committee. The contract shall be awarded on the basis of the highest evaluated Bid. Bids will be evaluated on a percentage basis as follows:

1. 0-45 points

Relevant Work Experience – The Review Committee will evaluate the Proposer’s experience in the following areas:

- Experience with restoration of significant, historic buildings, 100 years old or older.
- Experience of Subcontractors with restoration of significant, historic buildings, 100 years or older.
- Experience with restoration of buildings listed on the National Register of Historic Places or located in a locally zoned historic district.
- Demonstrated ability to complete complex historic restoration projects.
- Demonstrated ability to carry out restoration projects, including the ability to work together with Subcontractors and Owner.
- Current workload and evidence of bonding capacity.
- Demonstrated ability to provide a high level of quality of restoration of significant historic restoration projects.

2. 0-30 points

Understanding of the Work – The Review Committee will evaluate the Proposer’s ability to meet specifications based on the following factors:

- Successful completion of restoration of projects subjected to the *Secretary of the Interior’s Standards for Rehabilitation*.
- Approach to development of construction schedule and demonstrated ability to adhere to schedule.
- Demonstrate ability to complete this complex project on time and within budget.
- Demonstrated ability to complete complex projects with a high quality restoration.
- Proven ability to select and work with qualified subcontractors.

3. 0-25 points

Price – The Review Committee will evaluate the Proposer’s bid on the basis of total price submitted to complete the project.

Summary

Experience	45%
Understanding of work	30%
Price	25%
Total	100%

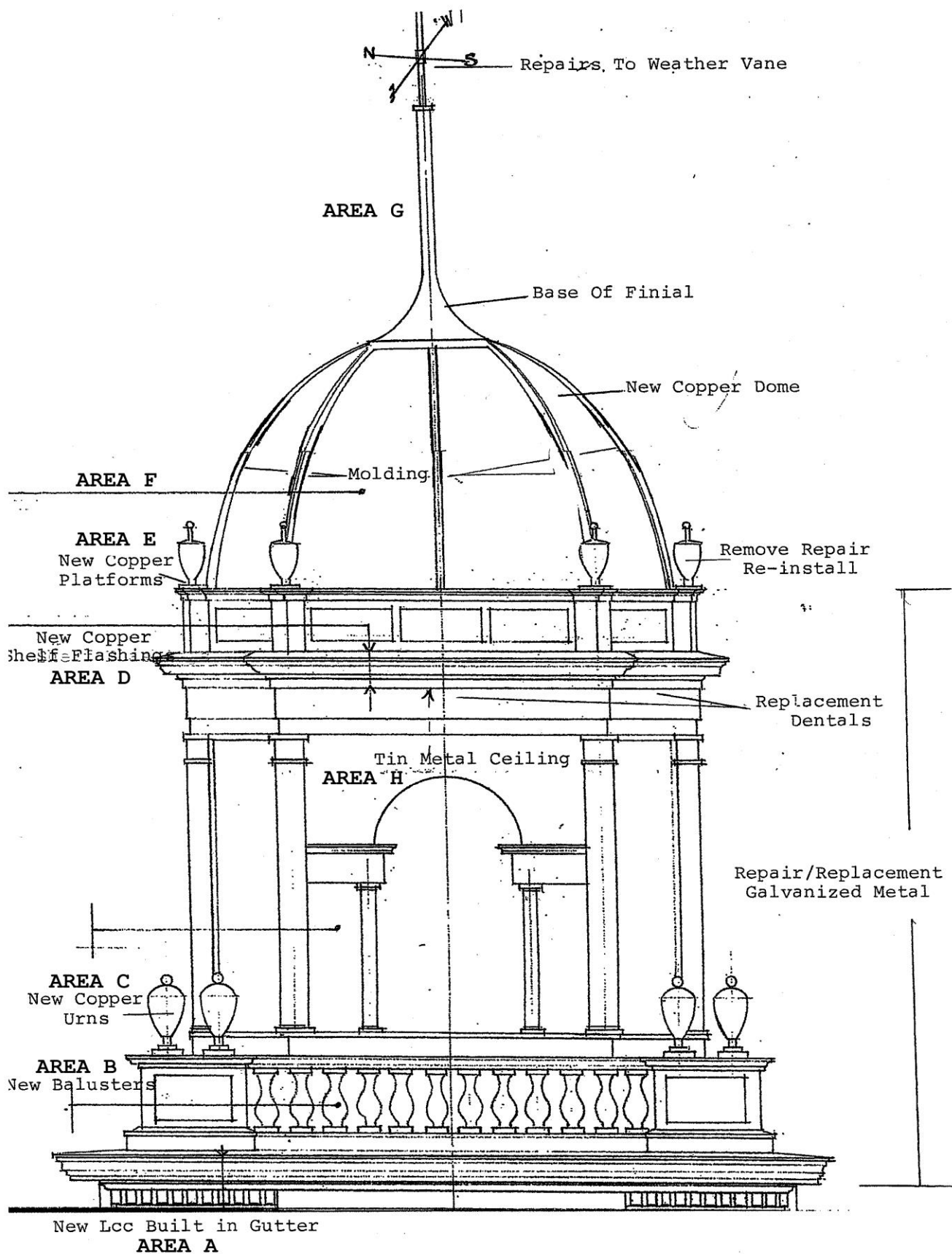
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AP 245, AL 0061**

The winning bidder shall be familiar with the preservation, rehabilitation, restoration and reconstruction of historic buildings. All work must be completed in accordance with the Secretary of the Interior's Standards for Rehabilitation of Historic Properties.

The scope of work includes the following:

SCAFFOLDING, STORAGE, AND TEMPORARY FACILITIES

1. Full access scaffolding shall be erected to access all areas of work from the base of the tower to the top of the weathervane, including the portico.
2. Engineer's stamped drawings shall be provided.
3. Overhead protection shall be provided, where necessary to protect pedestrians.
4. Scaffolding will need to be wrapped in debris netting to collect all generated dust and debris.
5. Scaffolding will be left cleaned and secured at the end of each day.
6. A staging area, as directed by the Owner, will be provided for the Contractor to install a locked storage container and portable restroom.
7. A project sign shall be installed and maintained at the project site. This sign shall be of adequate design and constructed to withstand weather exposure and be of a size that can be easily read from Post Road, and shall be maintained in place throughout the project term. At a minimum the sign shall contain the following statement: "Restoration of Warwick City Hall is being supported in part by a Save America's Treasures grant, administered by the National Park Service, Department of the Interior".



REPAIR/REPLACEMENT WORK TO GALVANIZED ORNAMENTS, CORNICE, SOFFITS, COLUMNS, CAPITALS, AND CLADDING

GENERAL

1. Inspect all galvanized metal that shows deterioration or rust for soundness and integrity. Any metal that an awl can penetrate, needs to be repaired or replaced.
2. Fabricate new replacement parts using 24 gauge galvanized metal, matching the original in size and shape. All replacements will be embedded into a sealant/construction adhesive and held in place using stainless fasteners. All raw edges must be primed and painted with a rust preventative paint.

AREA A. BUILT-IN BOX GUTTER, Figure 1.

1. Remove the existing metal which capped off the box gutter. Remove the wood that was added to bridge over the opening.
2. Remove the original gutter lining, if still in place.
3. Inspect the wooden trough and repair or rebuild, as needed, to ensure a sound substrate and proper drainage (slope 1/16" to the foot toward the outlet tube).
4. Fabricate and install a new 20 oz. red copper gutter lining, formed to the configuration of the built-in gutter. The new lining shall hook onto a new 20 oz. red copper continuous cleat, at the front edge of the cornice, and follow the configuration of the gutter trough, locking onto the existing shelf flashing with a 3/4" locked seam and sealant.
5. Apply .060 EPDM rubber membrane to the bottom surface of the new gutter lining, to act as a sacrifice sheet.
6. Fabricate and install a new 3 3/4" square 20 oz. lead coated copper outlet tube. The new outlet tube will be soldered to the bottom of the new gutter lining and will extend down through the soffit and into the new leader a minimum of 4". Install a copper strainer into the outlet tube.
7. Fabricate and install a new 4" x 4" 20 oz. lead coated copper leader. The new leader will extend down into a new 20 oz. lead coated copper leader head. Install 1/4" stainless mesh over the opening of the top of the leader head.
8. Fabricate and install a new leader from the bottom of the leader head, down to the flat roof, forming a shoe at the base to divert water.
9. Install a concrete splash block under the shoe of the leader.

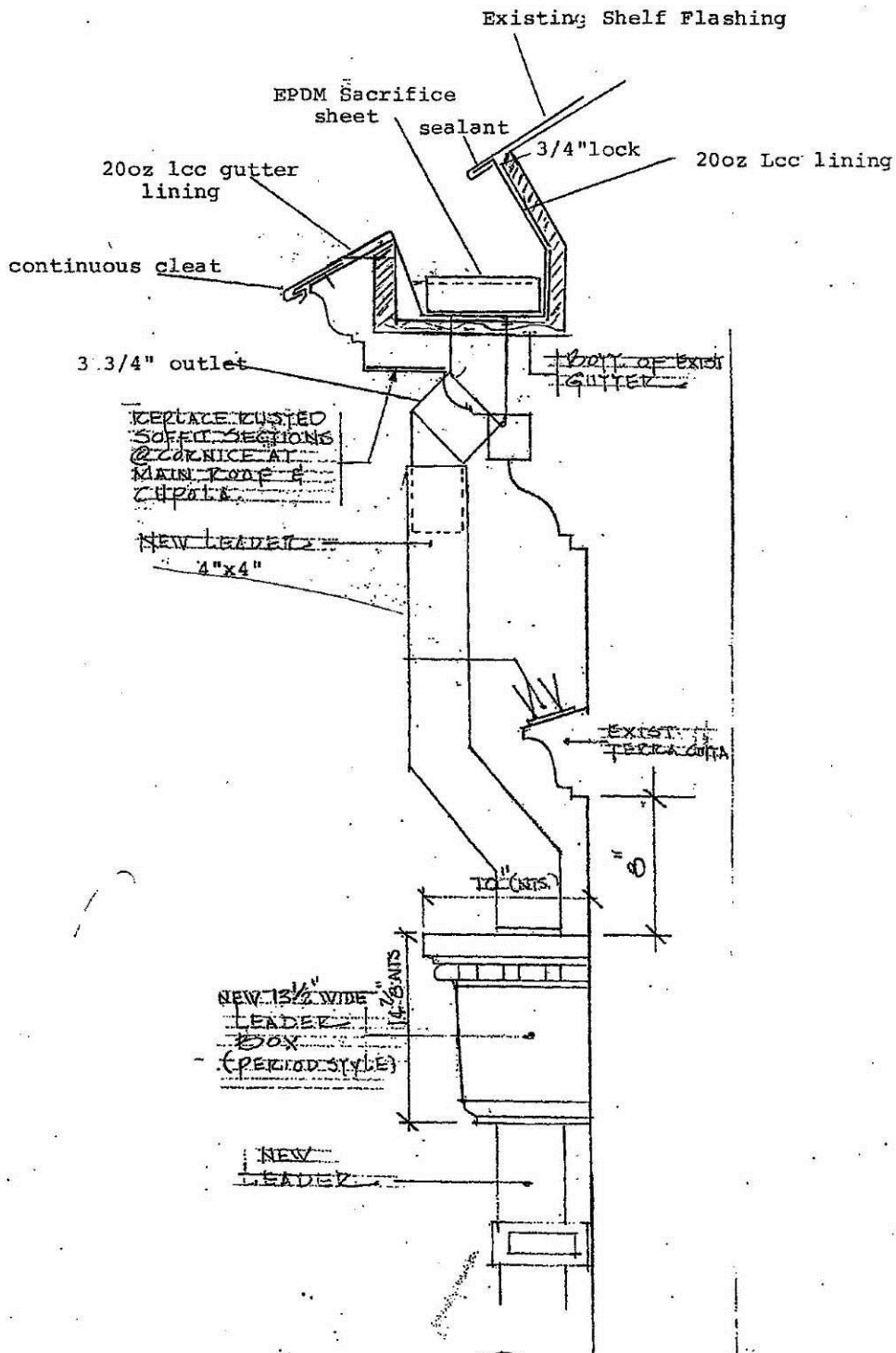


Figure 1

AREA B. RAILING AND NEW BALUSTERS

New Railing, Upper level (for tower area to replace removed and missing railing)

1. Inspect and repair any of the existing galvanized metal cladding that shows deterioration or rust, checking for soundness and integrity. Any metal that an awl can penetrate needs to be repaired or replaced.
2. Fabricate new replacement parts using 24 gauge galvanized metal, matching the original in size and shape. All replacements will be embedded into a sealant/construction adhesive and held in place using stainless fasteners. All raw edges must be primed and painted with a rust preventative paint.
3. Replace all deteriorated ornaments and panels, matching the original in size and shape. Installation in the same manner as below.

New Balusters, Upper level (for tower area to replace removed and missing balusters)

1. Fabricate and install forty eight (48) new balusters, twelve (12) per elevation, using 16 oz. red copper and matching the original in size and shape.
2. Owner to supply sample of original baluster. (The new balusters are to be set into a sealant and mechanically fastened and sealed to the railing bed and underside of the top rail. Sealant and methods must be approved by the Owner).
3. Stainless steel rivets and stainless steel sheet metal screws are to be used in fastening of the balusters to the bed of the railing and the underside of the railing.

AREA C. TWELVE (12) NEW LARGER URNS

(To replace removed and missing urns)

1. Fabricate and install twelve (12), 3 per corner, new 16 oz. red copper urns, matching the original in size and configuration. Owner to supply sample of original.
2. Repair, refasten, and solder, as needed, the existing mounting pads for the urns, to ensure a sound and watertight base.
3. Fabricate and install twelve (12) new support posts using a schedule 40, 1" galvanized pipe. At one (1) end of the pipe, weld a 1/4" thick galvanized 8"x8" plate. Mechanically fasten the plate to the mounting pad using 3/8"x3" lag bolts, 4 per base. Install a .060 rubber gasket between the plate and pad. The length of the pipe shall be determined by the height of the urns.

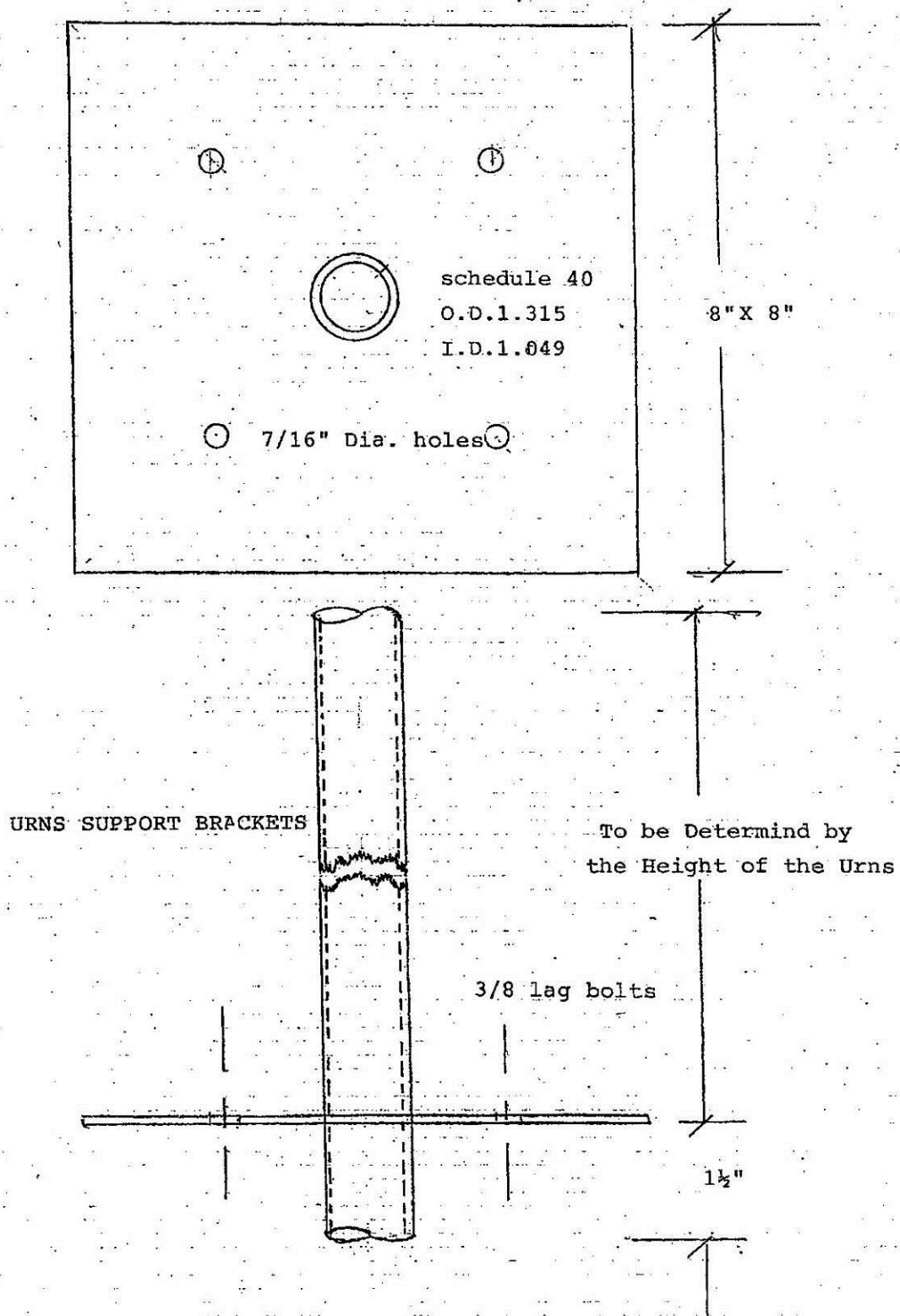


Figure 2.



AREA D. CORNICE, SOFFIT AND Replacement of missing DENTALS

1. Remove one (1) existing dental to be used as a sample.
2. Fabricate new 16 oz. red copper dentals to match the original dentals in size and shape, as per sample.
3. Repair the cornice and soffit, in the same manner as above using 24 gauge galvanized metal.
4. Install new copper dentals into position, embedded into a sealant and mechanically fastened using stainless steel fasteners.

AREA E. DOME BASE, Including the base/shelf flashings of the DOME

1. With care, remove and save the eight (8) existing smaller urns.
2. Remove and dispose of the metal covered platforms and blocking that is under each urn, reserving one (1) platform as a sample. Remove the original shelf flashing.
3. Inspect the wooden substrate. Replace all missing wooden decking and deteriorated boarding. Refasten using stainless steel deck screws.
4. Completely cover the exposed wood with a layer of high heat ice and water shield membrane.
5. Fabricate and install all new 20 oz. red copper shelf flashings. The new flashings will lock onto a 20 oz. copper continuous cleat, at the front edge, and extend across the shelf and turn up the dome a minimum of 6". The flashing shall lock onto the preceding sheet with a 3f/3" flat locked seam. All field seams, and where the flashing terminates, shall be held in place with 2" wide copper cleats. All seams will be soldered to ensure water tightness.
6. Install new pressure treated wood blocking platforms for the urns, same size as the original platforms. Replicate in accordance with sample. Mechanically fasten using stainless steel fasteners.
7. Fabricate and install all new 16 oz. copper boxes to completely cover the new urn platforms. A 3/4" wide flange shall extend out onto the new shelf flashing. The new copper boxes will be

held tight against the shelf flashing with a $\frac{3}{4}$ " continuous blind cleat. The continuous cleat to be mechanically fastened and soldered to ensure water tightness.

8. Fabricate and install schedule 40, 1" galvanized pipe support posts, in the same manner as the large urns. See attached detail.

AREA F. DOME

1. Remove the existing copper hip moldings and copper cladding on the dome, exposing the substrate. Inspect, repair and refasten all loose decking using stainless steel deck screws. Replace all missing wood decking and deteriorated boarded that will no longer hold a fastener, with new, matching the original and fasten using stainless steel deck screws. Apply a layer of high heat ice and water shield membrane over the entire surface.
2. Fabricate new 20 oz. copper roof panels with $\frac{1}{2}$ " locked edges, to match the original panels in size and shape. Apply a bead of sealant to the inside of the folded edge of the sheets before they are set into place. The new sheets will be held in place with 2" wide cleats, mechanically fastened, 8" on center. Each sheet following shall be hooked together with a $\frac{1}{2}$ " folded seam. The folded seam will be dressed down.
3. Fabricate and install new 16 oz. copper moldings to match the original in size and shape. The molding will overlap the preceding section, a minimum of 3", and shall be mechanically fastened using copper rivets. The moldings will be held tight against the new cladding with a $\frac{3}{4}$ " 20 oz. copper, hemmed continuous blind cleat. Mechanically fasten the blind cleat, using stainless steel screws, 12" on center, on both sides of the molding.
4. The newly clad Copper Dome will remain unpainted and allowed to weather naturally.



AREA G. WEATHERVANE AND BASE

1. Inspect the shaft to ensure soundness and that the weathervane moves freely. Repair and lubricate as needed.
2. Fabricate and install new brass N (north) and S (south) lettering to match existing style.
3. Inspect all copper cladding to ensure soundness and water tightness. Repair using matching materials.
4. Gild with 23k gold leaf the N,S,W,E, the arrow with ornamentation, and the two (2) finial balls of the weathervane.



AREA H. CEILING ABOVE BELL DECK

1. Replace all deteriorated wood rafters and decking.
2. Repair the ceiling above the bell deck by sistering new pressure treated rafters of matching size. Reconstruct the ceiling substrate using ½" CDX plywood and furring strips, to the Ceiling Manufacturer's Installation Instructions. Allow a 24" x 24" opening in the ceiling for a future access door.
3. Proceed with the following:
4. Furnish and install a new tin ceiling, to manufacturer's specifications, W.F. Norman Corp or approved equal. Ceiling Panel No. 406, Cornice No. 160, Filler No. 201, Field No. 406.
5. Fabricate and install a ¾" thick plywood access door with brass hinges and a latch to fit the new opening. Door to be completely covered with matching tin metal.
6. Finish the tin ceiling before installation. Use only oil-based, NOT WATER BASED, rust inhibiting primer.

Paint color to be chosen by Owner.

7. Repair and replace crown molding, where necessary.
8. Repair and replace metal flat stock and moldings, where necessary.
9. Prepare and paint existing and new metalwork.

TOWER MASONRY RESTORATION

1. The scope of work includes four (4) elevations of the tower from the painted metal cornice down to the slate roof line.
2. Erect debris netting to control dust.
3. Wash brick and terra-cotta surfaces with Prosoco's restoration cleaner and pressure wash with clean water to remove carbon and atmospheric dirt build-up. Sample areas to provide the least aggressive cleaning procedure.
4. Existing masonry joints between brick and terra-cotta are to be cut out 100%.
5. Cut joints are to be cleaned prior to re-pointing with a mortar to match the existing color.
6. Cracked or deteriorated bricks are to be removed and replaced where necessary with matching bricks. Assume 100 bricks in the base bid.
7. Remove all pointing mortar residue from the face of brick and terra cotta.
8. All masonry surfaces are to receive a clear waterproof coating.

TOWER & PORTICO PAINTING

1. The scope of work includes the preparation and painting of all the presently painted and new metal clad surfaces on the tower and portico facade. The newly clad copper dome on the tower will remain unpainted to weather naturally.
2. All presently painted surfaces are to be washed with a Jomax and bleach solution and pressure rinsed utilizing a rotary tip to remove all dirt, mold and poorly bonded paint.
3. All surfaces are to be hand scraped to remove any remaining poorly bonded paint.
4. All generated debris are to be collected and disposed of properly.
5. New metal cladding, with the exception of the dome and weathervane assembly, are to receive one (1) complete coat of Benjamin Moore Polyamide Epoxy Primer.
6. All open joints are to be filled with Tremco Dymonic Caulk.
7. All metal surfaces are to receive two (2) complete finish coats of Benjamin Moore DTM Direct-To-Metal Acrylic Semi-Gloss paint.
8. Wood surfaces are to be primed with Benjamin Moore Exterior Oil Based Primer.
9. Wood surfaces are to receive two (2) complete coats of Benjamin Moore Regal Select Exterior Semi-Gloss paint.
10. The new mahogany balustrade system is to be primed and back-primed with Benjamin Moore Exterior Oil Base Primer and finished with two (2) coats of Benjamin Moore Regal Select Exterior Semi-Gloss paint.
11. Natural finished wood doors are to be prepared, touched up with stain and are to receive two (2) complete coats of oil based gloss spar varnish.

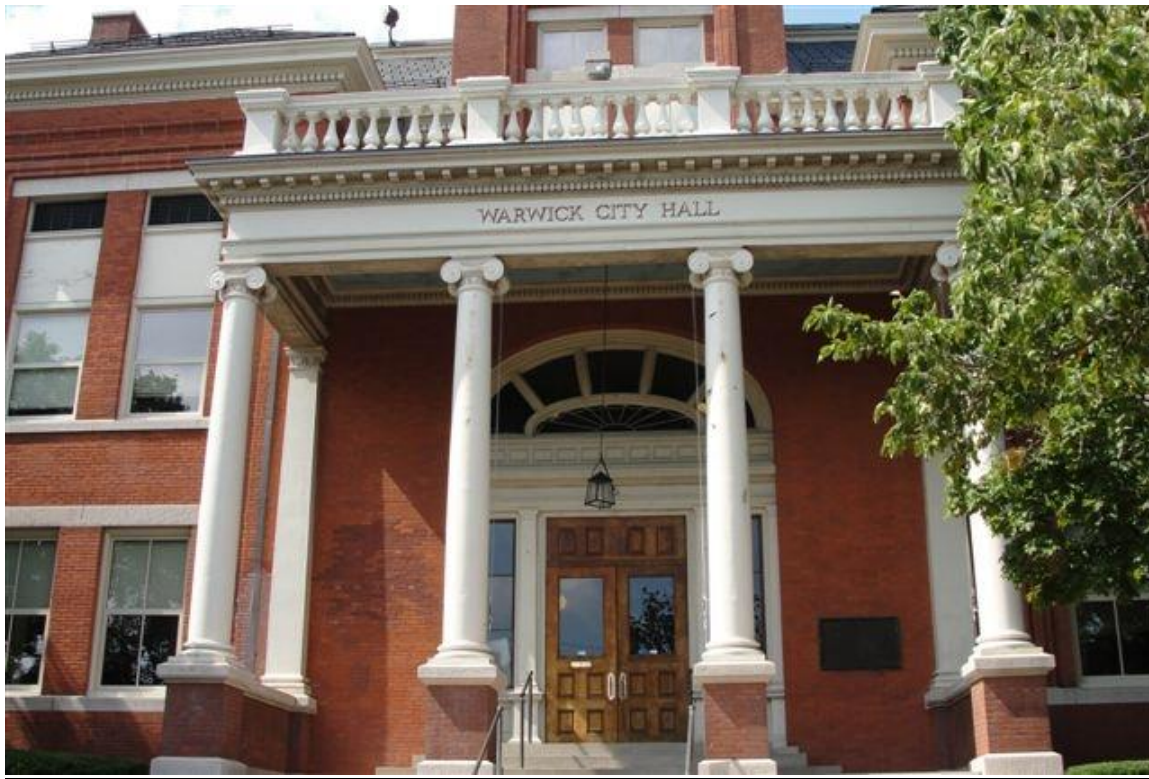


CLOCK FACE RESTORATION

1. Existing clock faces are to be scraped free of all loose and peeling paint.
2. Deteriorated caulking compounds are to be removed.
3. All surfaces are to be washed with a trisodium phosphate solution and rinsed with clear water.
4. Splits and holes in woodwork that do not merit replacement are to receive epoxy wood consolidation and repair utilizing the Abatron system.
5. Woodwork that is deteriorated beyond an epoxy repair is to be replaced with solid Mahogany to match the original in size and profile. All new wood is to be primed and backprimed.
6. Wood surfaces are to receive one (1) complete coat of Benjamin Moore Exterior Penetrating Oil Base Primer.
7. Open wood-to-wood joints are to be filled with White Lightning Bolt caulk.
8. Open wood-to-masonry joints are to be filled with Tremco's Dymonic caulk.
9. Clock surfaces are to receive two (2) complete coats of Benjamin Moore Urethane Alkyd Gloss Enamel.
10. A wind screen of reinforced polyethylene sheeting will need to be erected at each clock face.
11. Minutes, numbers and clock hands are to be sized with slow set oil size and gilded with 23k gold leaf.
12. Remove existing non-functioning lighting.

BIRD NETTING

1. Install new bird netting on four (4) bell tower openings.
2. Install new bird netting on all four (4) elevations of upper balustrade.
3. Repair and/or replace Nixalite bird spikes at cornice level.



PORTICO BALUSTRADE REPLACEMENT

1. Remove and replace the existing portico balustrade 100%.
2. Fabricate all new components to match the original details as specified on the drawings.
3. All new components to be fabricated from dense mahogany.
4. Balustrade to receive a lead coated copper cap.
5. Re-flash all posts into the existing lead coated copper roof.
6. Balustrade to be backprimed, primed and two (2) finish coats.

CARPENTRY REPAIRS & ALLOWANCE

Carpentry repairs covered under this bid package include:

1. Rafter replacement in the ceiling of the bell area.
2. Plywood installation and framing for access panel in the ceiling above the bell area.
3. Refastening of any loose sheathing.
4. Restoration of the wood gutter bed at the built-in gutter level.

An allowance of **\$50,000** is to be carried in the base bid for carpentry repairs that may become apparent during construction.

ALL OF THE ABOVE WORK TO BE PERFORMED TO THE SPECIFICATIONS OF THE LATEST EDITION OF REVERE COPPER AND COMMON SENSE AND TO PROPER ROOFING AND SHEET METAL PRACTICE, AND IN COMPLIANCE WITH THE SECRETARY OF THE INTERIOR'S STANDARDS FOR REHABILITATION.